

**TELSTRA EXCHANGE SITE
ST LEONARDS
524-542 Pacific Highway**

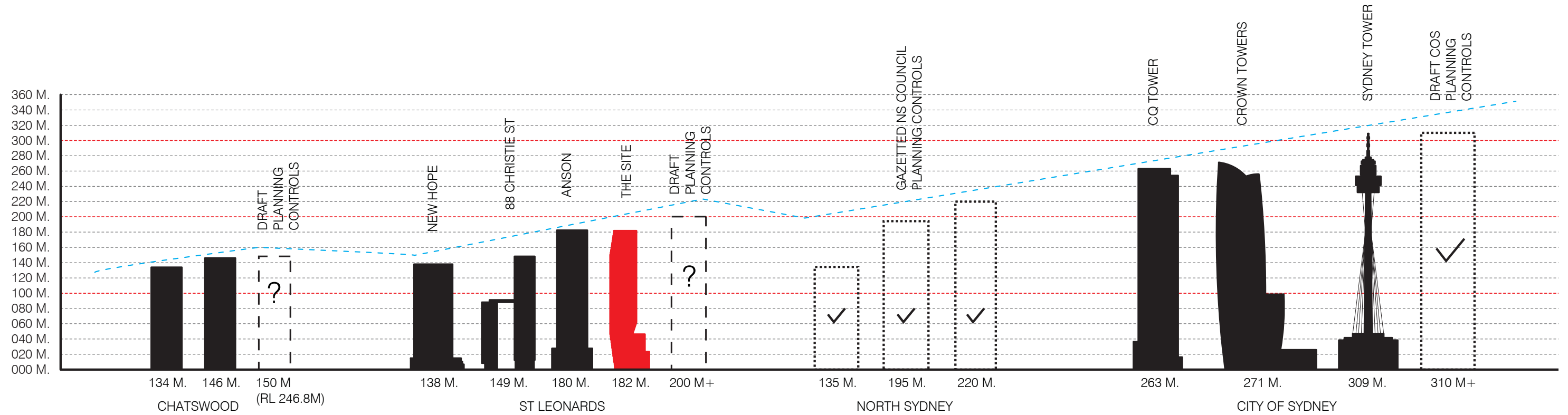
PLANNING PROPOSAL AMENDMENTS

**PREPARED FOR GROCON
2019.12.16**

PTW



HEIGHTS ANALYSIS - NORTH SHORE



CQ TOWER, SYDNEY CBD



ANSON, 617 PAC. HWY, ST LEONARDS



88 CHRISTIE ST, ST LEONARDS



CROWN TOWER, BARANGAROO

NORTH SHORE BUILDING HEIGHTS

The built form presented in this Proposal has been informed by the existing and future development landscape at St Leonards as well as the Centre's place in the regional context of Sydney's Lower North Shore. Whilst all of these Centres are seeking to grow, some are restricted by significant environmental constraints that do not apply to this site.

North Sydney Council recently released gazetted new planning controls for the North Sydney CBD, with a maximum height of RL 289m. It is understood that Willoughby Council is also currently reviewing height controls for the Chatswood CBD, but key shadowing constraints restrict a number of significant opportunities for the Centre.

Clearly the proximity of the adjoining residential areas (including heritage areas and items) is a significant constraint to the future growth (and commensurate height) in both locations. The potential for adverse environmental impact are not present in the same way at St Leonards or, more specifically, at the Telstra Exchange site.

As a Strategic Centre, located within the Global Economic Corridor, our studies suggest St Leonards' position at the topographical peak of the region means that a height limit of over 200m could be accommodated without significant environmental impact.

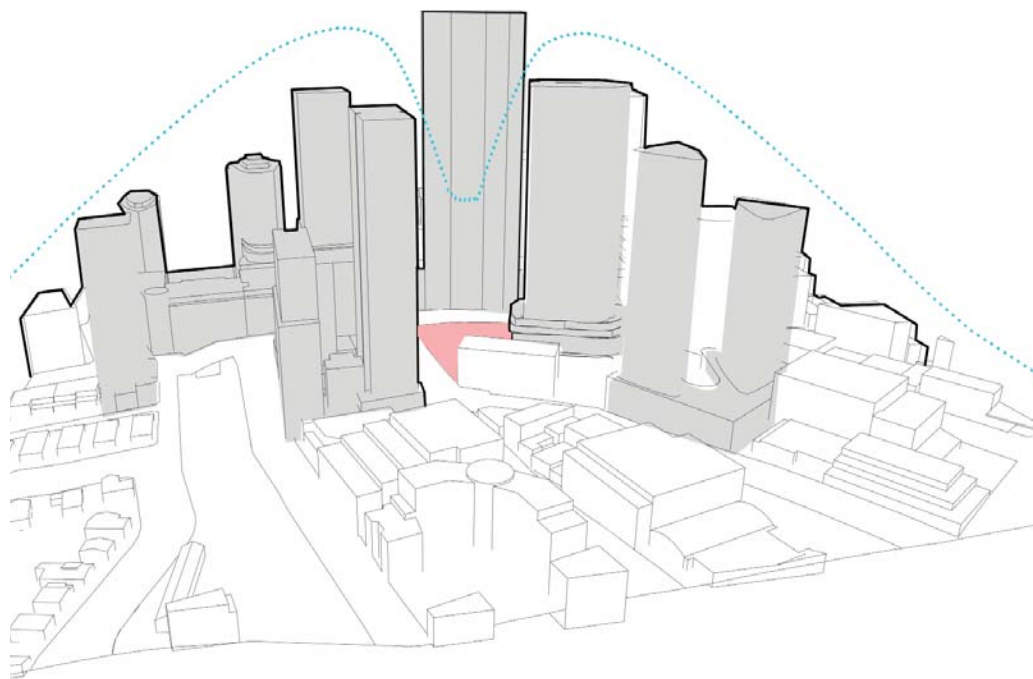
TRANSFORMATION OF PRECINCT | PTW

COMPLETING THE ST LEONARDS SKYLINE

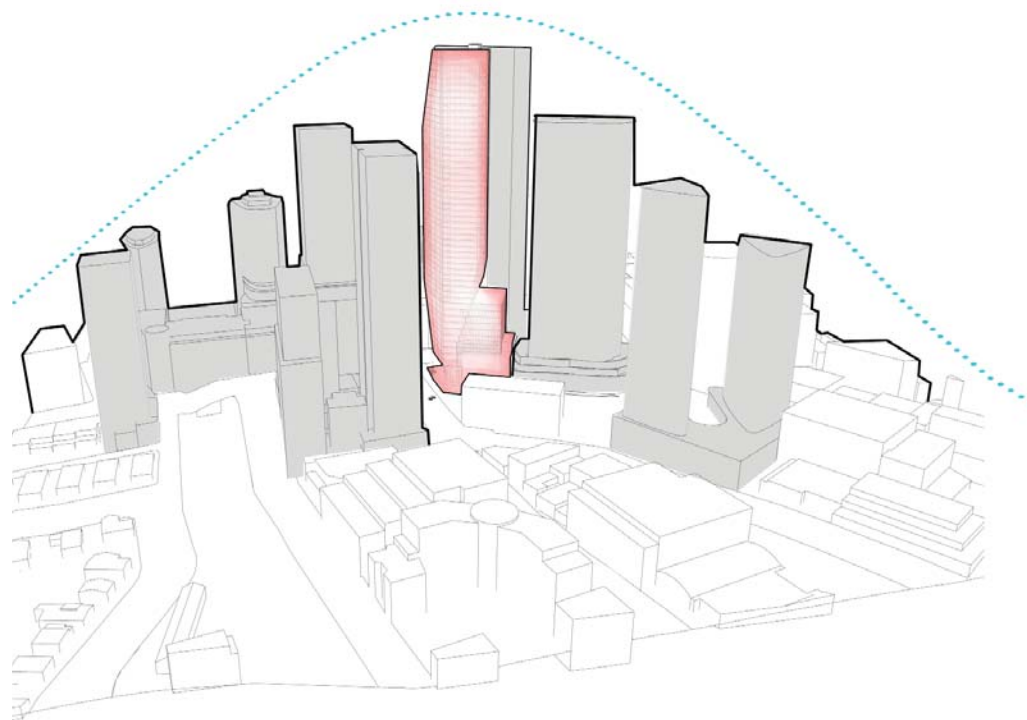
PROFILE OF ST LEONARDS

The St Leonards skyline has the beginnings of a 'bell' or 'pyramid' profile appropriate to the composition of the North Shore ridge, however it lacks cohesion due to significant gaps between buildings.

The Telstra Exchange site is centrally located within the future development context of the Centre and as such is perfectly located to accommodate a taller building form, stepping up towards the centre of the Precinct. The proposal in its scale, proportion and form will provide a focus for the St Leonards 'CBD' building group and complete the pyramid composition.



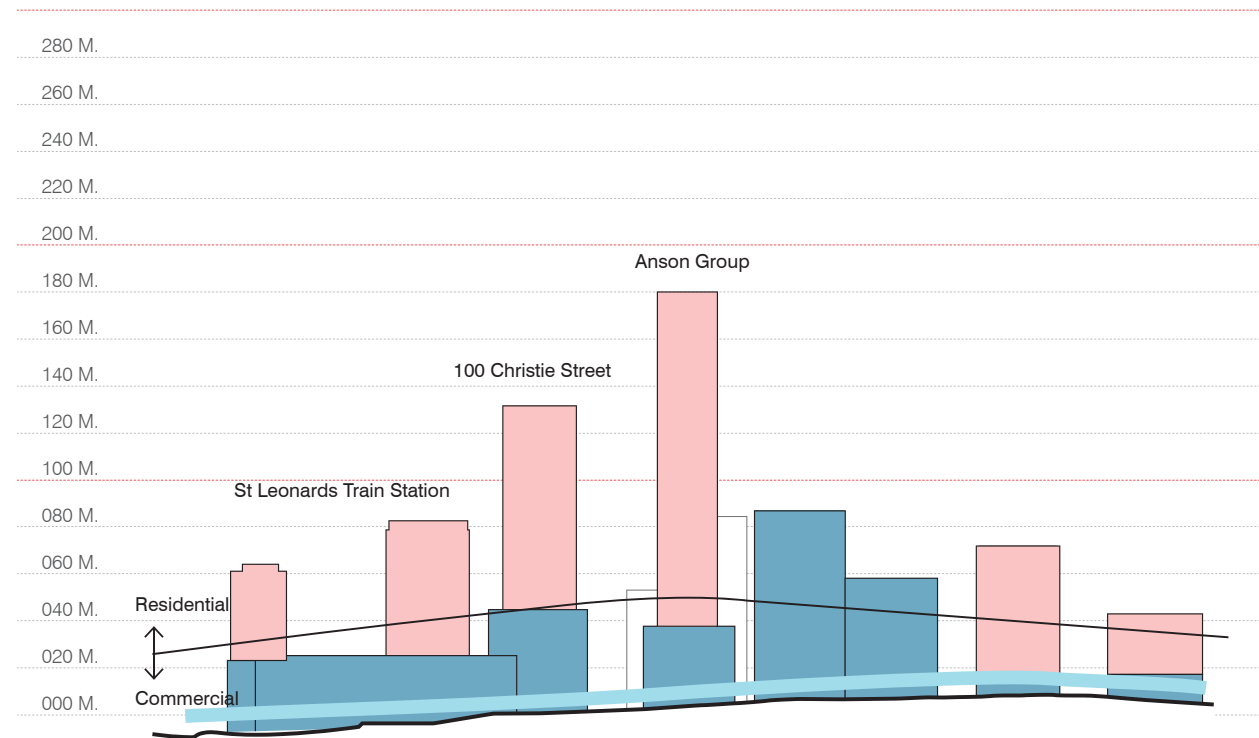
CURRENT



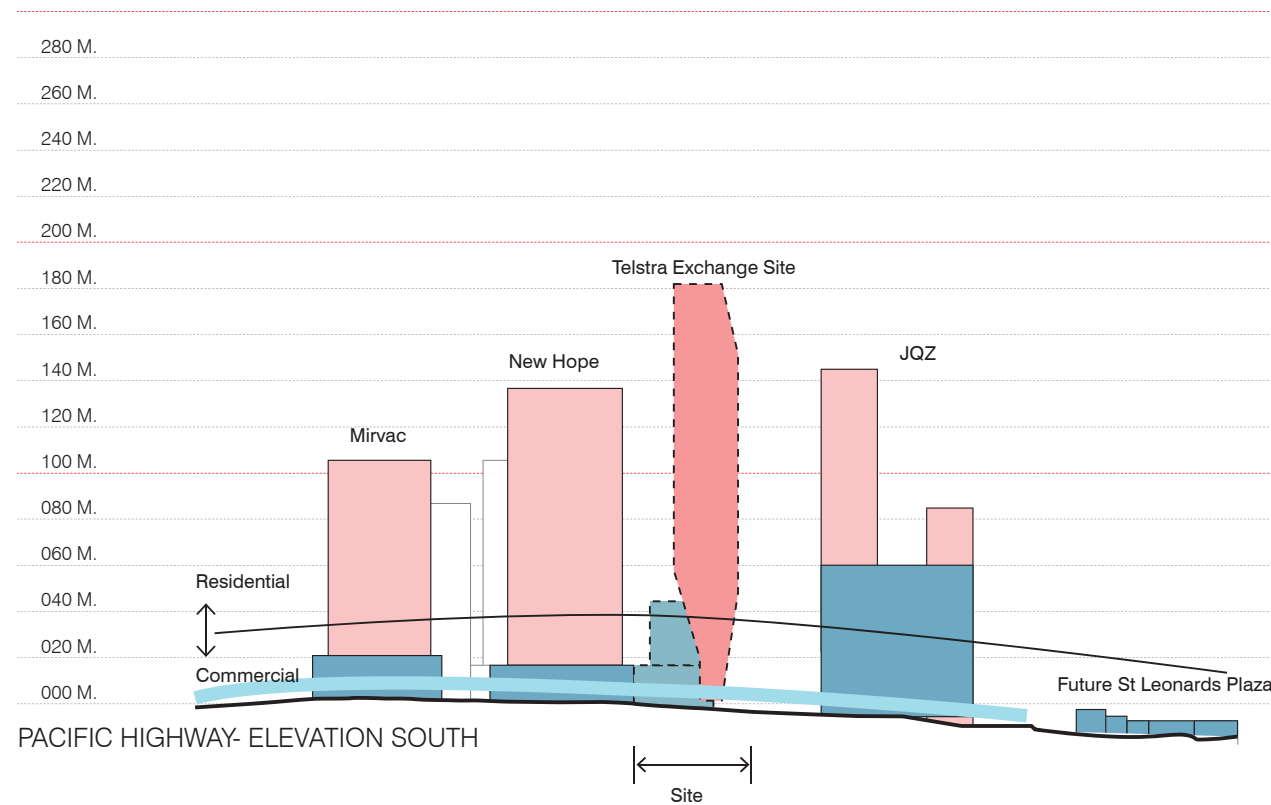
FUTURE



PATTERN OF COMMERCIAL + RESIDENTIAL ALONG PACIFIC HIGHWAY



PACIFIC HIGHWAY - ELEVATION NORTH



PACIFIC HIGHWAY- ELEVATION SOUTH

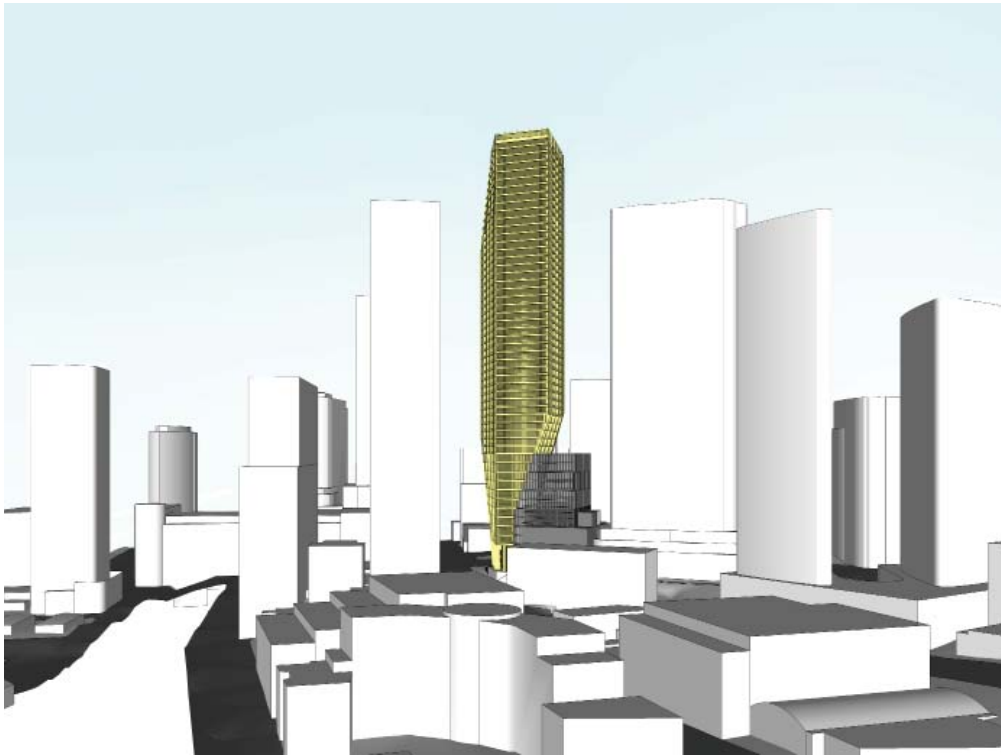
PATTERN OF COMMERCIAL AND RESIDENTIAL ALONG PACIFIC HIGHWAY

The stretch of the Pacific Highway as it passes through the St Leonards CBD has historically been populated by predominately low-to-medium scale commercial buildings. Many buildings in the immediate vicinity of the station along both sides of the Highway are now evolving to incorporate a mix of uses, with retail at Ground level and residential situated above commercial space.

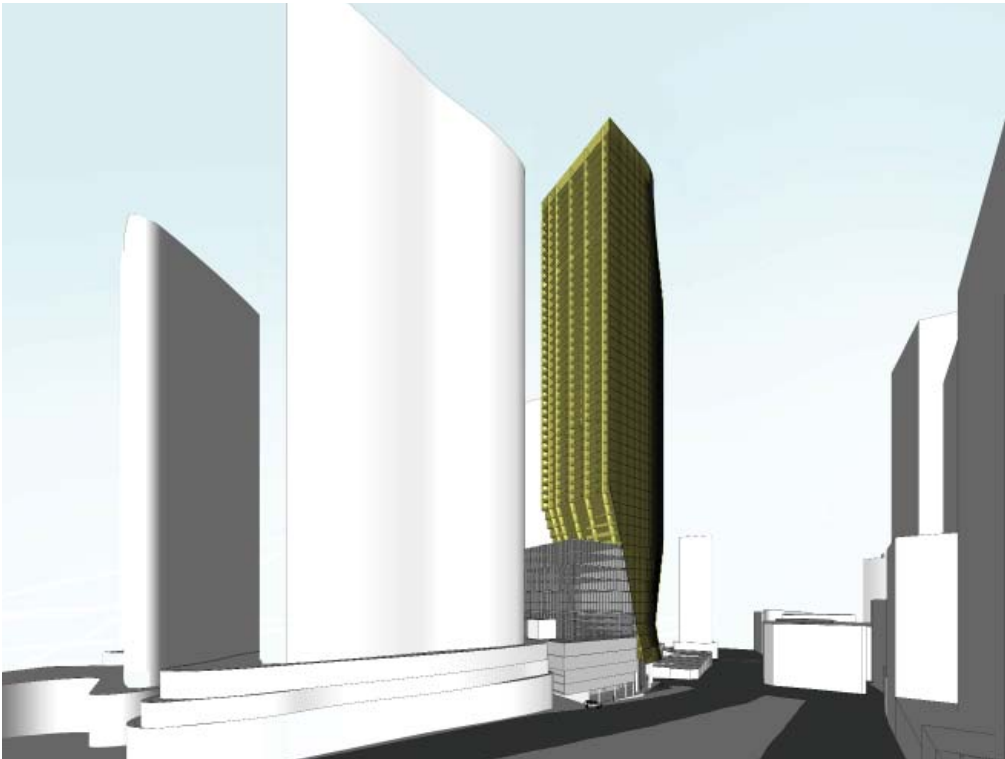
The proposed design maintains this same pattern, with the commercial and residential components of the building clearly differentiated within the overall geometry of the tower.



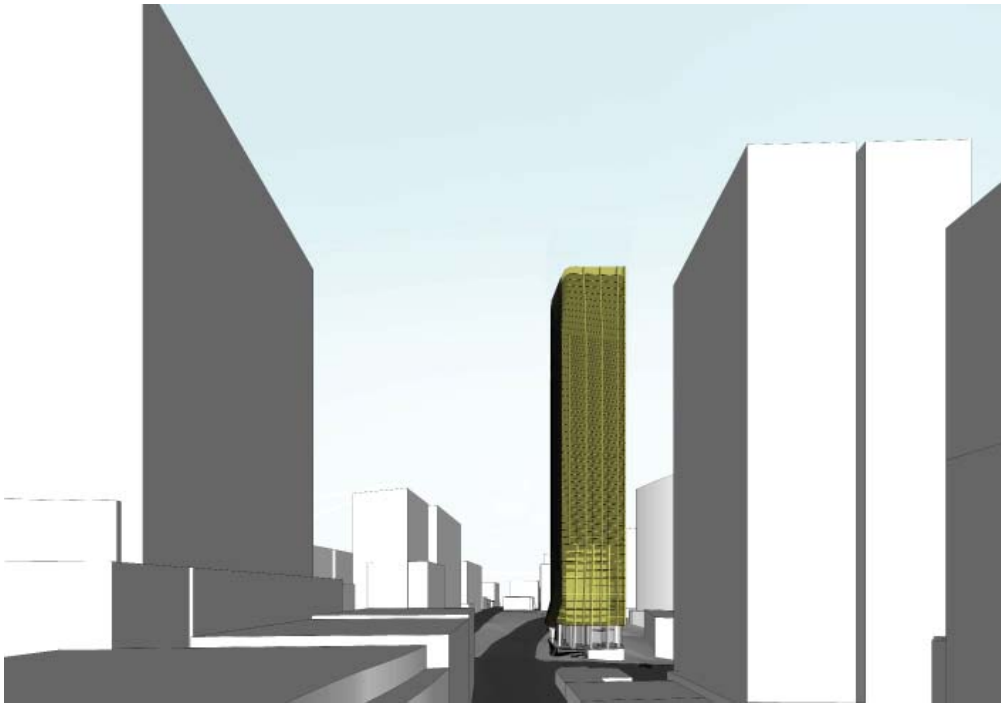
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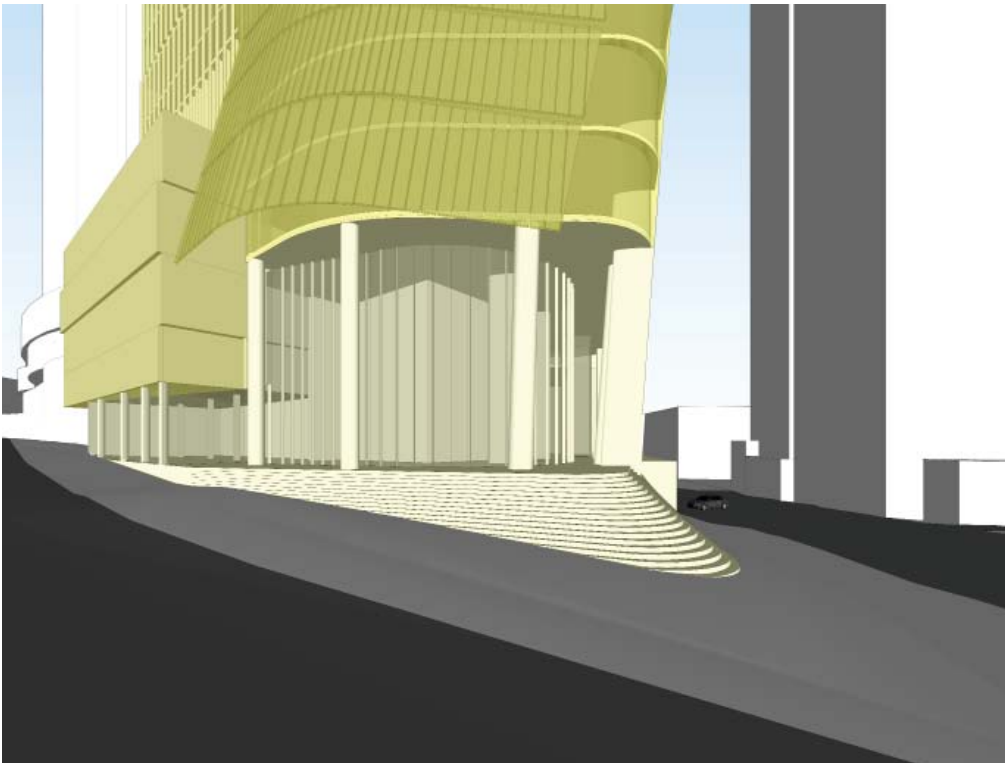
VIEW FROM THE SOUTH



VIEW FROM THE NORTH-EAST ALONG PACIFIC HIGHWAY



VIEW FROM THE WEST ALONG PACIFIC HIGHWAY



VIEW FROM THE CORNER CHRISTIE ST WITH PACIFIC HIGHWAY

THE BUILDING IN ITS CONTEXT

The building has been carefully designed and located on its site to respect and maintain the amenity of its neighbours whilst its curved and tapering form to respond to the bend of the Pacific Highway and the technical challenges of its site.

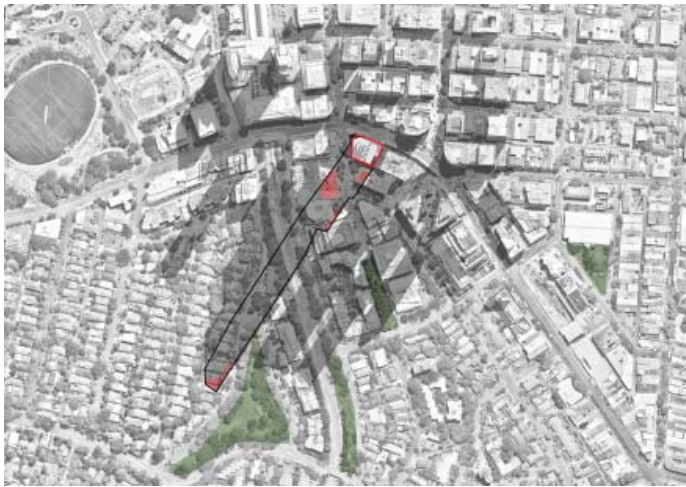
Its location at this important bend in the Pacific Highway and its pared composition with the tall tower proposed opposite to the north will create a gateway to the St Leonards CBD.

The towers elegant form and tapering shape will ensure that it will be perceived as an iconic landmark.

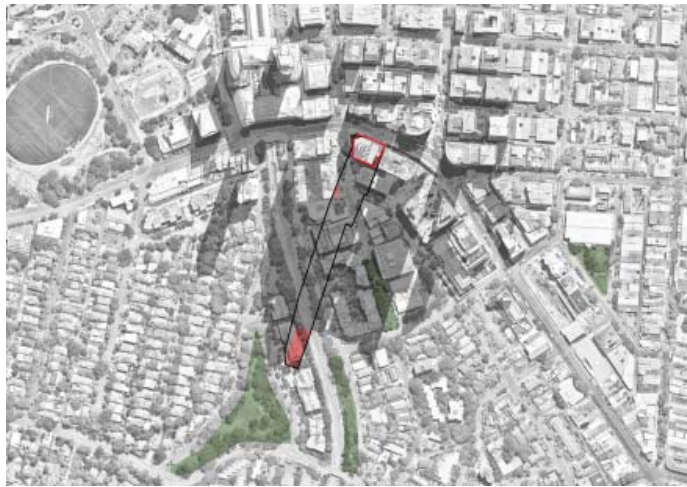
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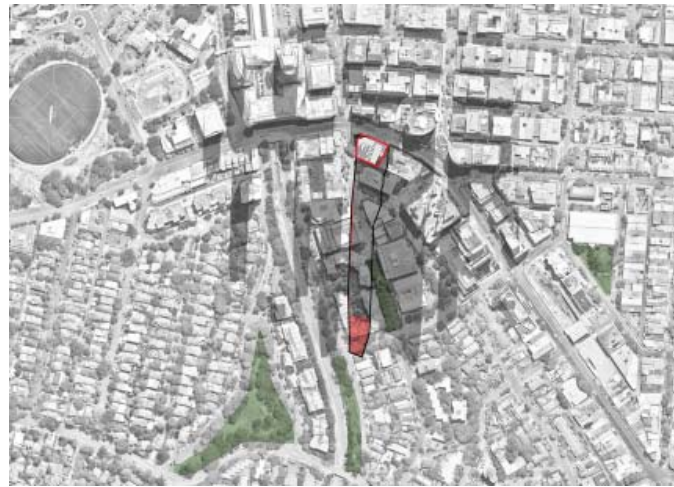
10:00



11:00



12:00



13:00



14:00



15:00



New Shadow
Special Open Areas

SHADOW IMPACT - NEWLANDS PARK

21ST JUNE 10:15 AM - EXISTING SHADOW



21ST JUNE 10:30 AM - EXISTING SHADOW



21ST JUNE 10:45 AM - EXISTING SHADOW



*NO ADD SHADOW ON OPEN AREA CURRENTLY RECEIVING SUNLIGHT

*EXISTING SHADOW IS INCLUDING SHADOWS BY EXISTING APPROVALS

21ST JUNE 10:15 AM - PROPOSED SHADOW





21ST JUNE 10:30 AM - PROPOSED SHADOW




21ST JUNE 10:45 AM - PROPOSED SHADOW



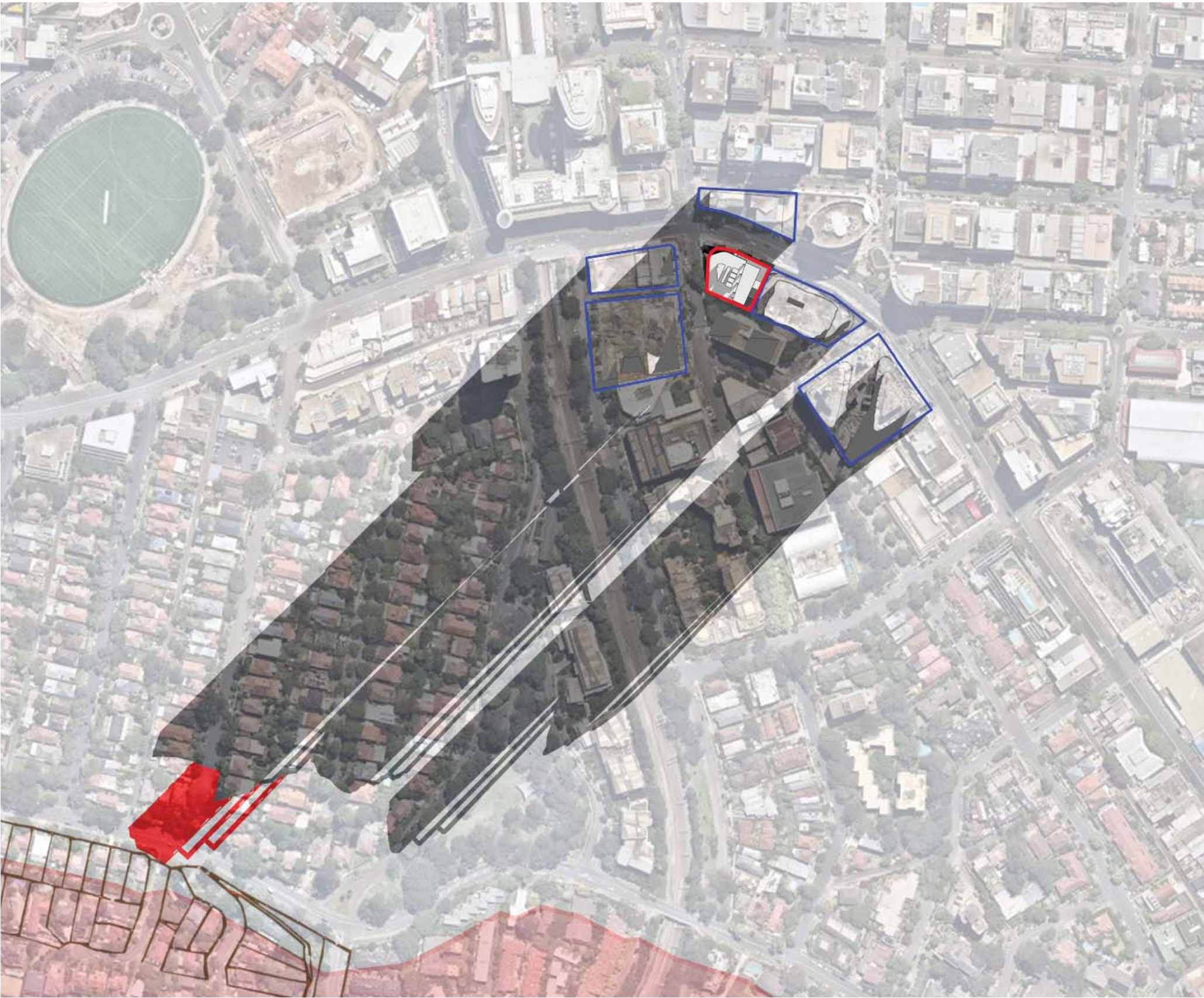
 NEWLANDS PARK

 NEWLANDS PARK OPEN SPACE RECEIVING DIRECT SUN LIGHT

 NEW SHADOW CAST BY PROPOSAL ONTO TREE CANOPIES

ZERO IMPACT ON RESIDENTIAL AREA “OUTSIDE BOUNDARY”

21ST JUNE 9:00 AM, 9:05 AM AND 9:10 AM - PROPOSED SHADOW



STUDY

The shadow cast by the proposal does not impact on the residential area outside boundary - which is defined in the draft St Leonards and Crows Nest 2036 Plan - between 9am and 3pm on the 21st of June.

LEGEND

- SITE
- ADJACENT DEVELOPMENTS
- RESIDENTIAL OUTSIDE BOUNDARY

SOURCE: DRAFT SLCN 2036 PLAN

FIGURE 11: SOLAR AMENITY MAP
- PROPERTY BOUNDARIES
- SHADOW CAST BY PROPOSAL

9:10 AM

9:05 AM

9:00 AM
- SHADOW CAST BY ADJACENT APPROVED DEVELOPMENTS

9:10 AM

9:05 AM

9:00 AM



SCALE: N/A

Site Area (sqm)

1671.7

Building height with plant/ lift overrun (m)

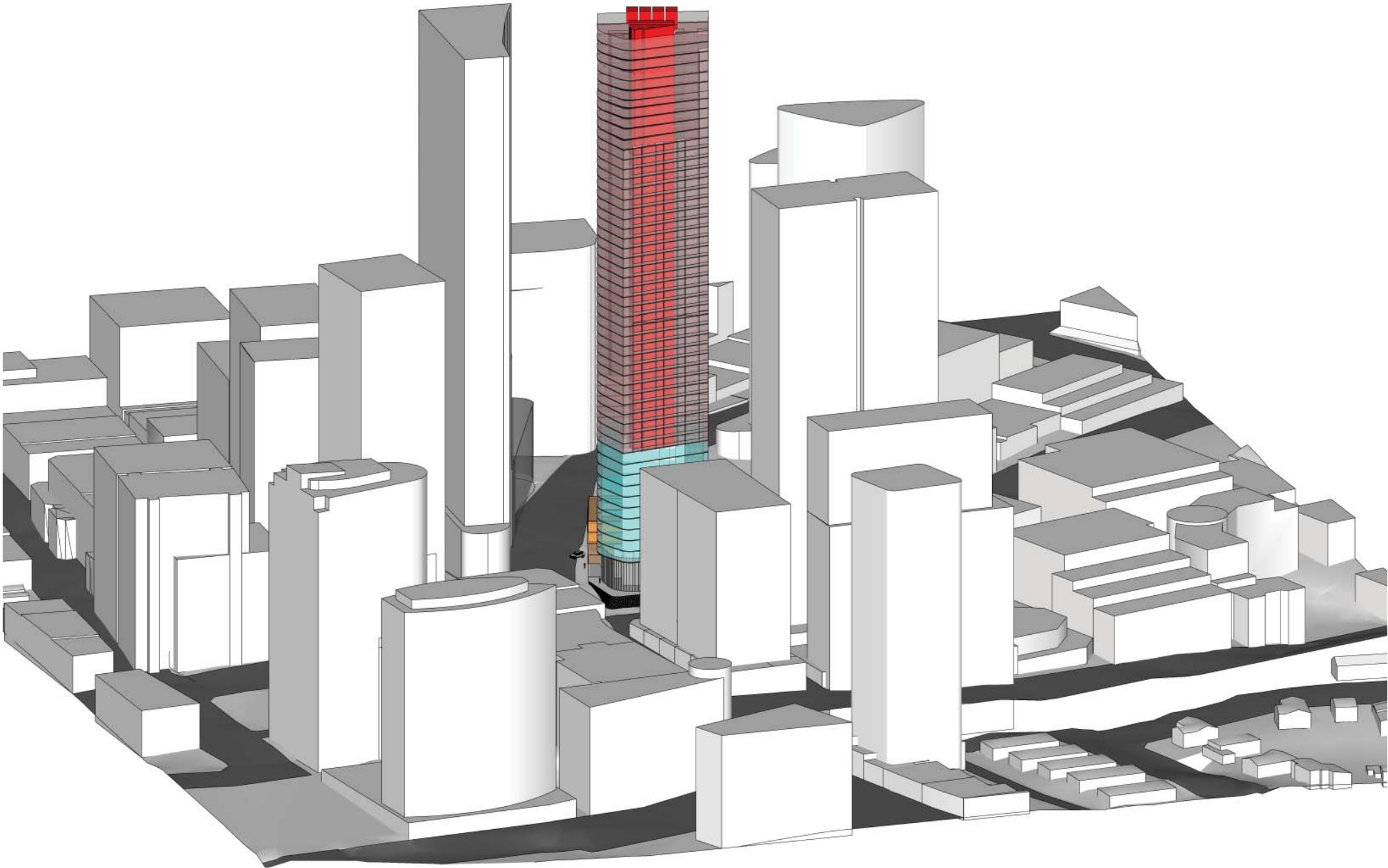
181.60

	Comm*	Resi	Telstra	Total
No. Floors	12	41	5	53
GFA	6914.0	28592.0	83.0	35589.0
FSR	4.1	17.1		21.3
Apartment No.		330		

Unit Mix:

30% 1bed, 65% 2bed, 5% 3bed

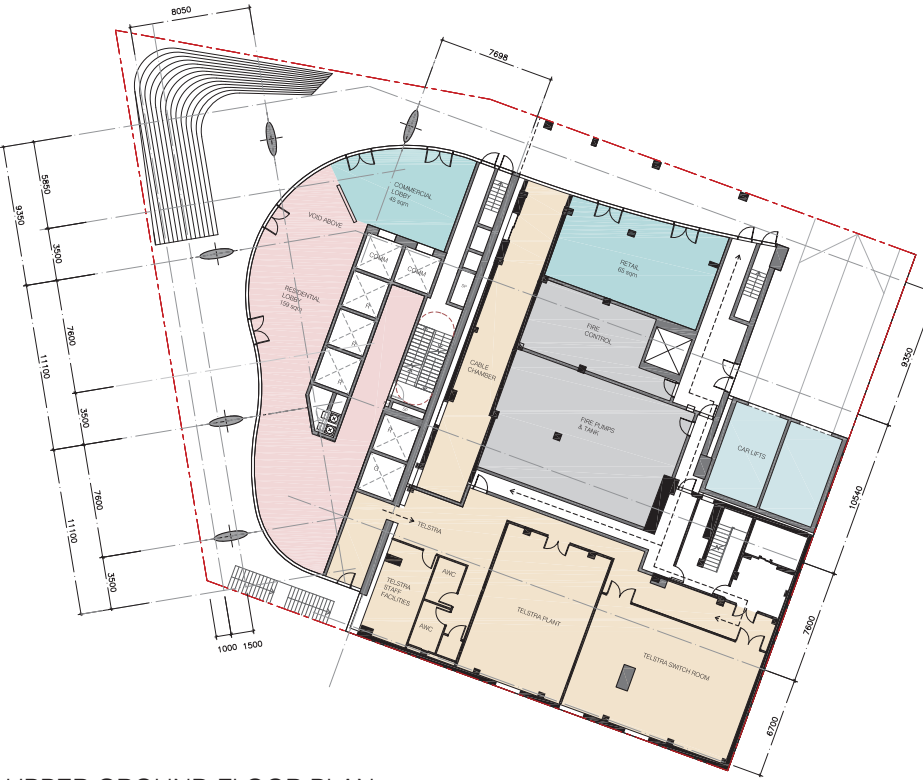
* measured from lower ground floor



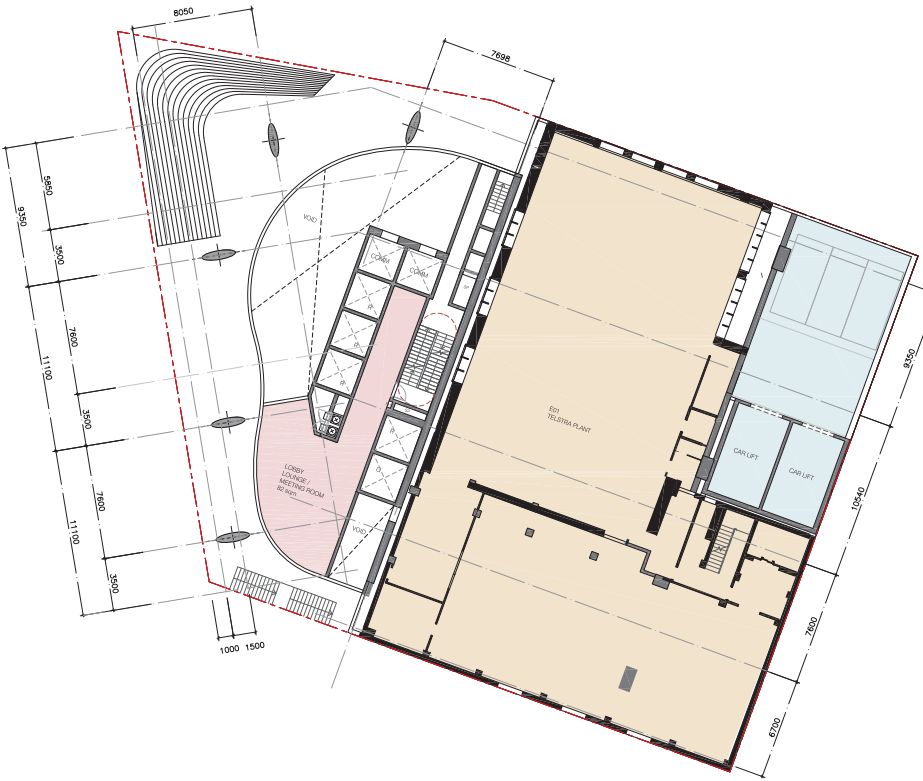
- Residential Apartments/ Lounge
- Commercial/ Retail/ Gym/ Childcare
- Telstra Exchange
- Core



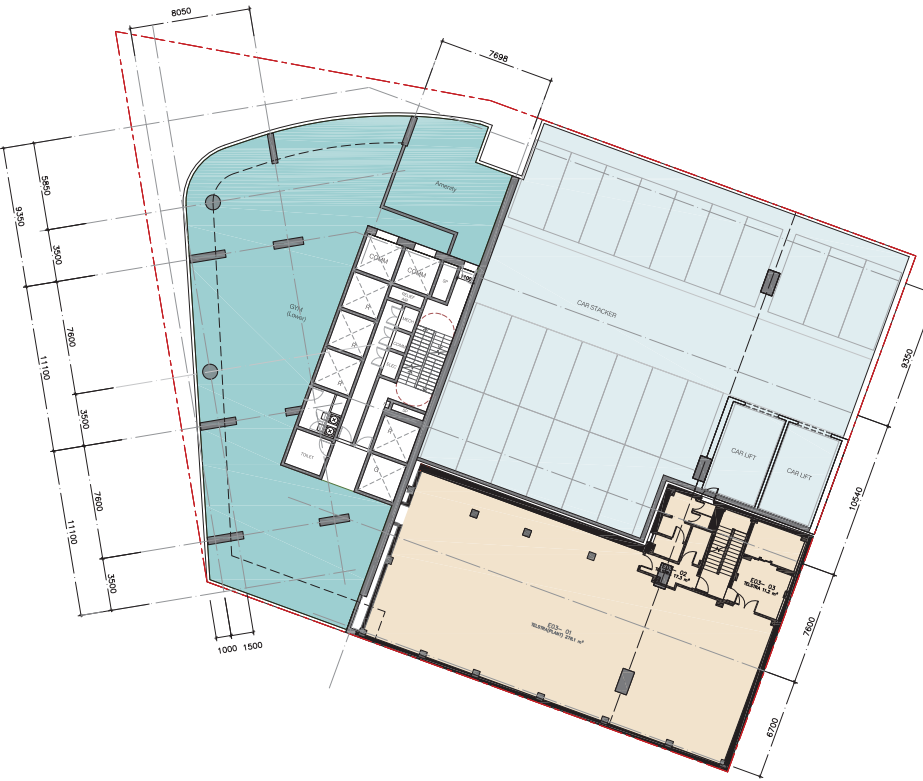
LOWER GROUND FLOOR PLAN
LG



UPPER GROUND FLOOR PLAN
UG

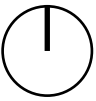


MEZZANINE FLOOR PLAN

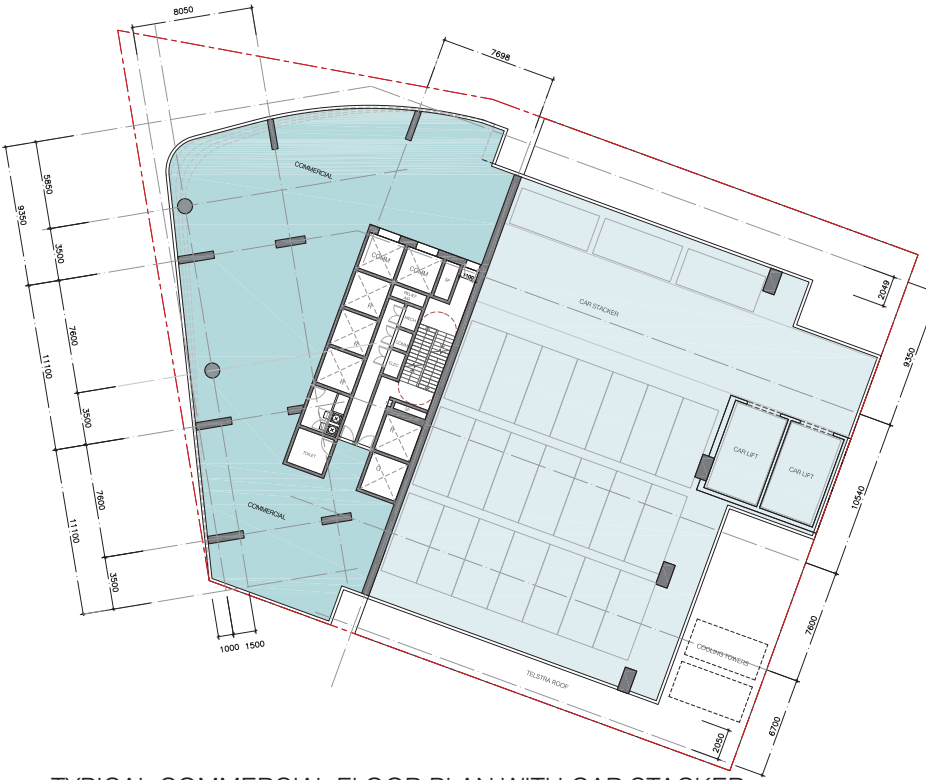


PODIUM FLOOR PLAN WITH GYM AND CAR STACKER
L1-2

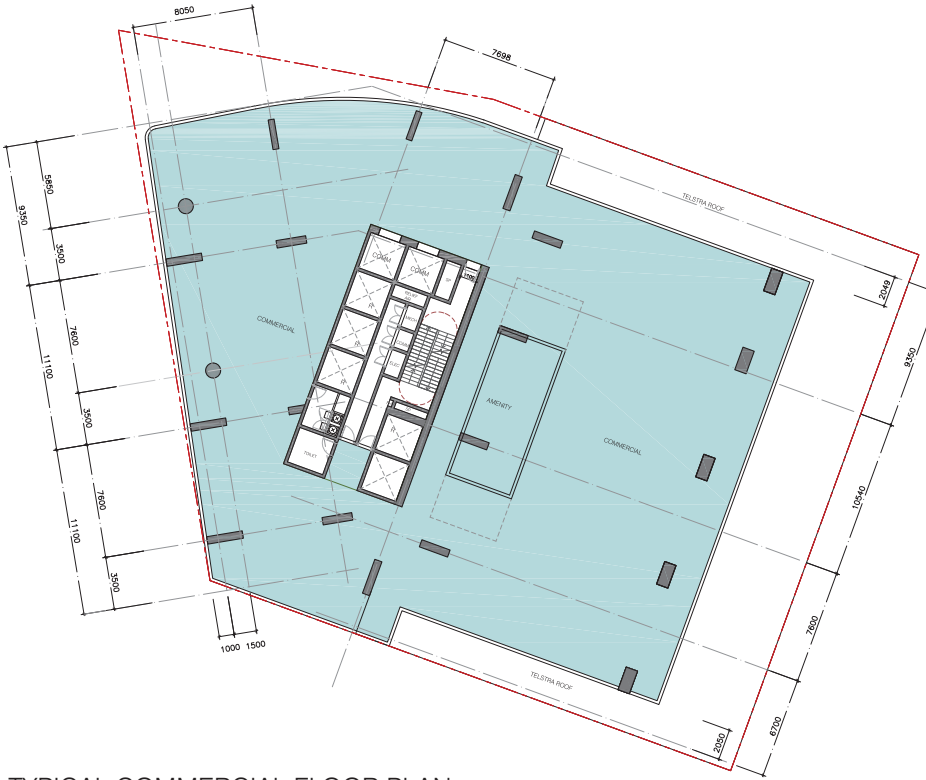
- Site Boundary
- Residential Amenities/ Lounge
- Communal Roof Terrace/ Pool
- Residential Apartments/ Lobby
- Childcare (Indoor)
- Childcare (Outdoor)
- Commercial/ Retail
- Gym
- Carstacker
- Telstra Exchange
- Core/ Plant



SCALE: 1:500



TYPICAL COMMERCIAL FLOOR PLAN WITH CAR STACKER
L03-05



TYPICAL COMMERCIAL FLOOR PLAN
L06-09

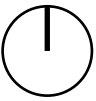


CHILDCARE FLOOR PLAN
L10



RESIDENTIAL FLOOR PLAN WITH AMENITY
L11

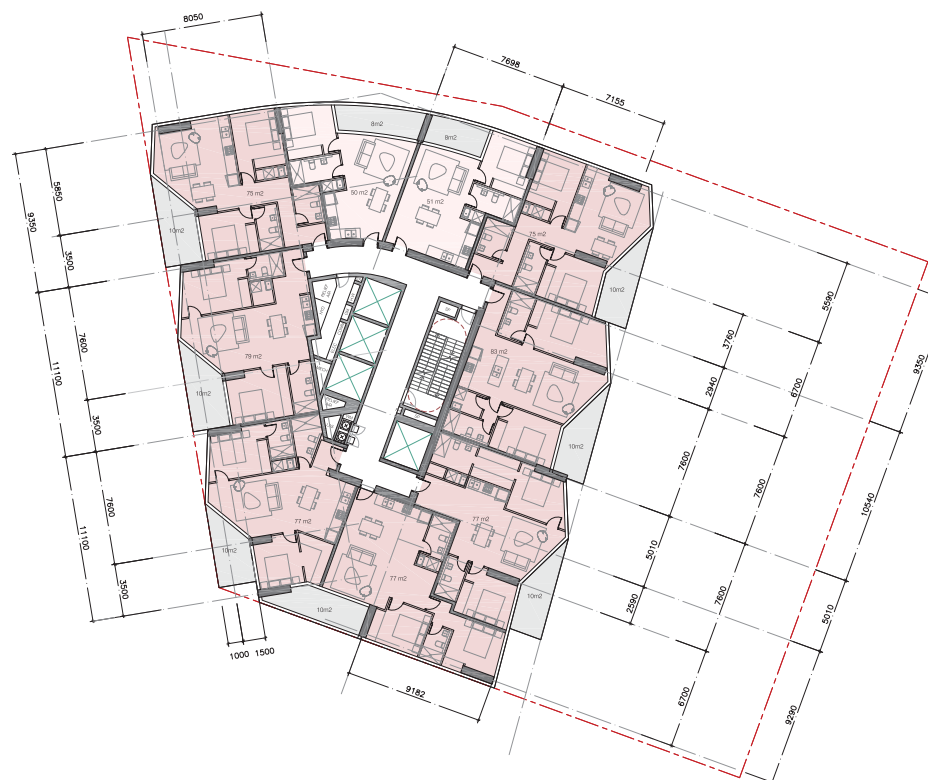
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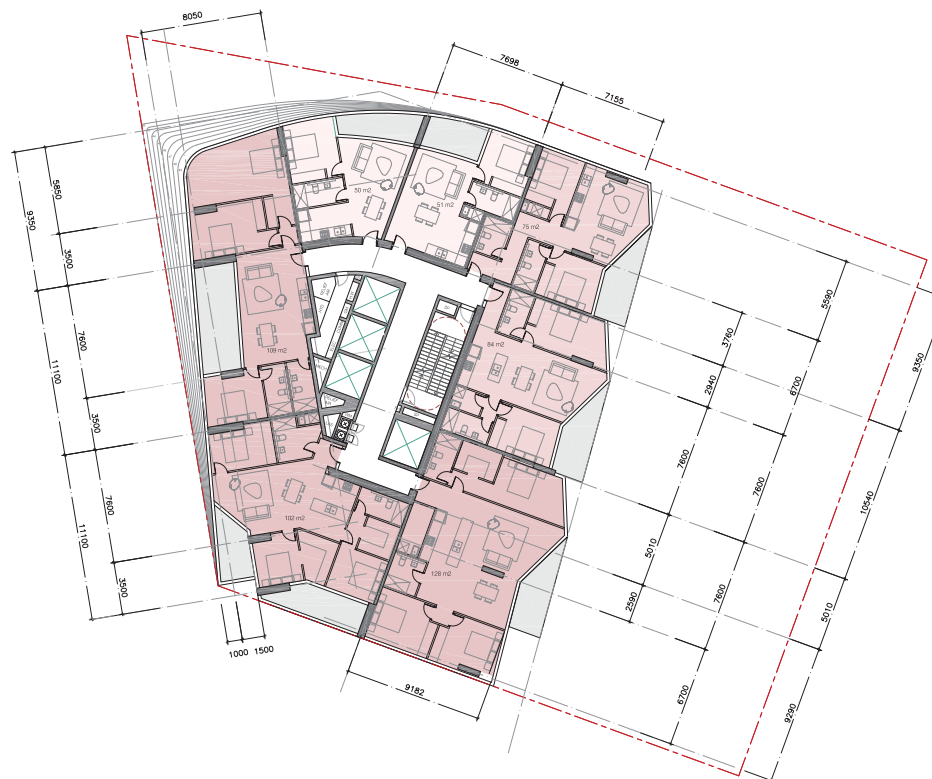
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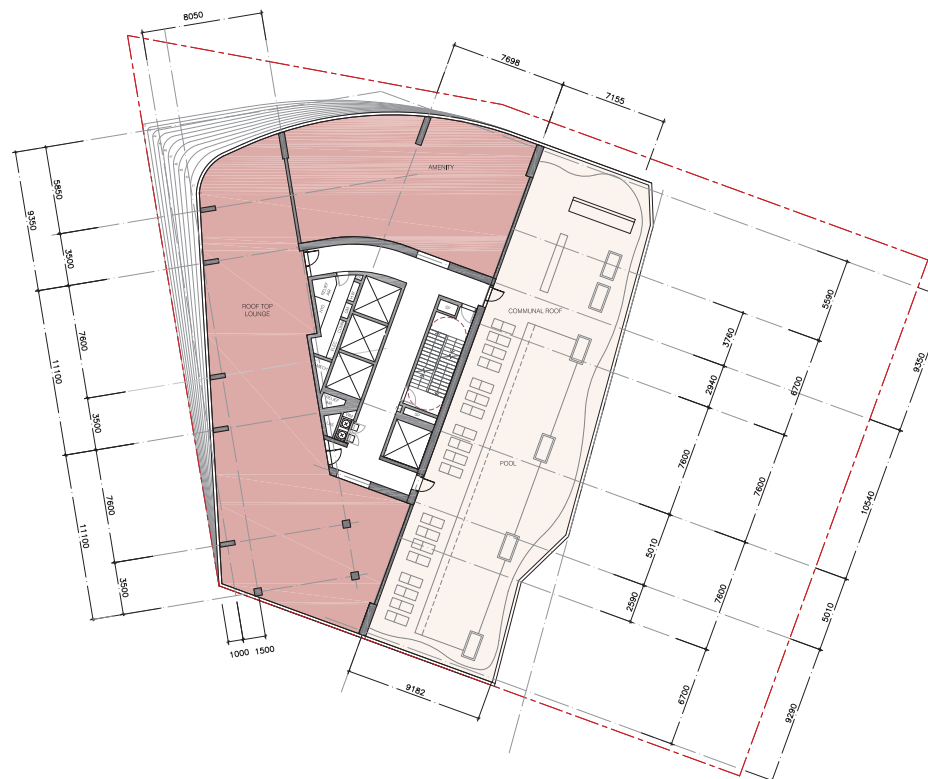
RESIDENTIAL FLOOR PLAN
L13



TYPICAL RESIDENTIAL FLOOR PLAN
L16-40



RESIDENTIAL FLOOR PLAN
L48

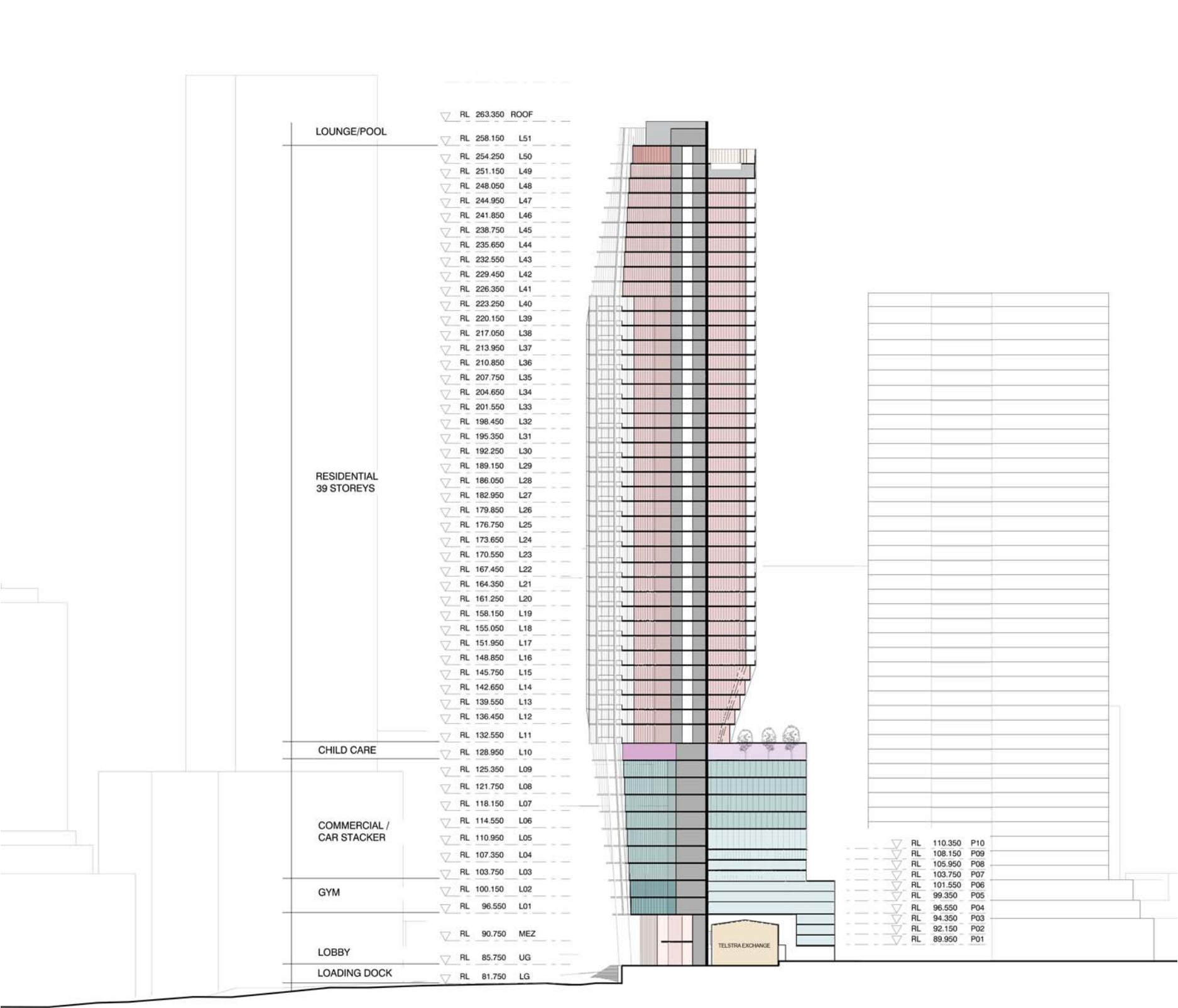


COMMUNAL ROOF PLAN WITH LOUNGE
L50

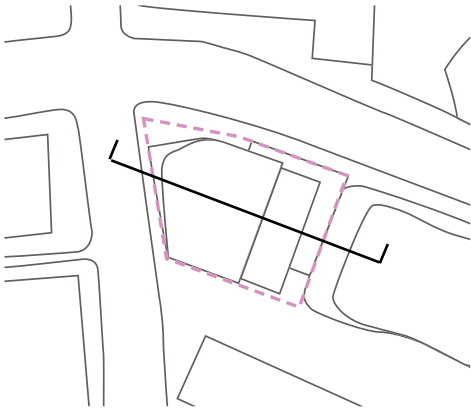
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SCALE: 1:500

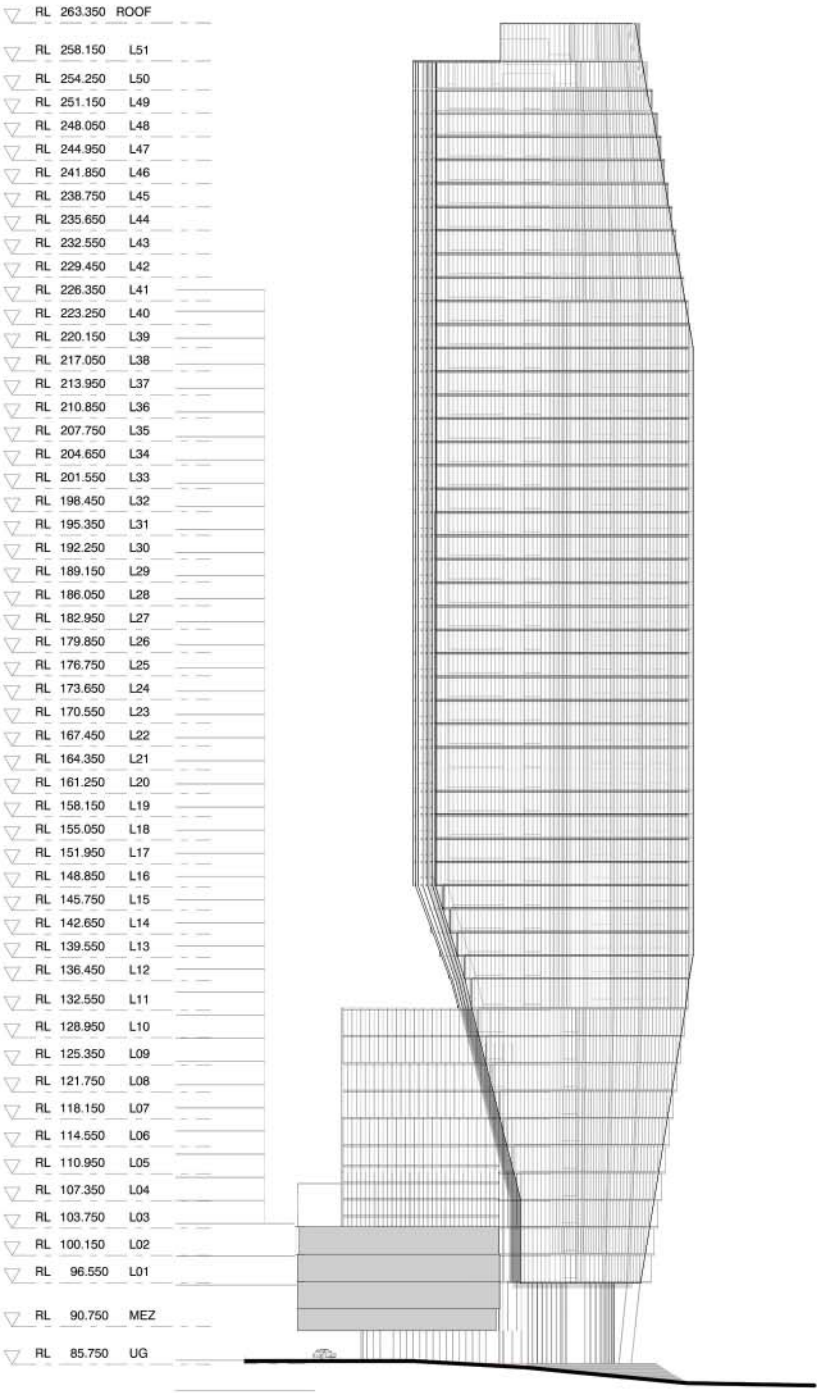


- Site Boundary
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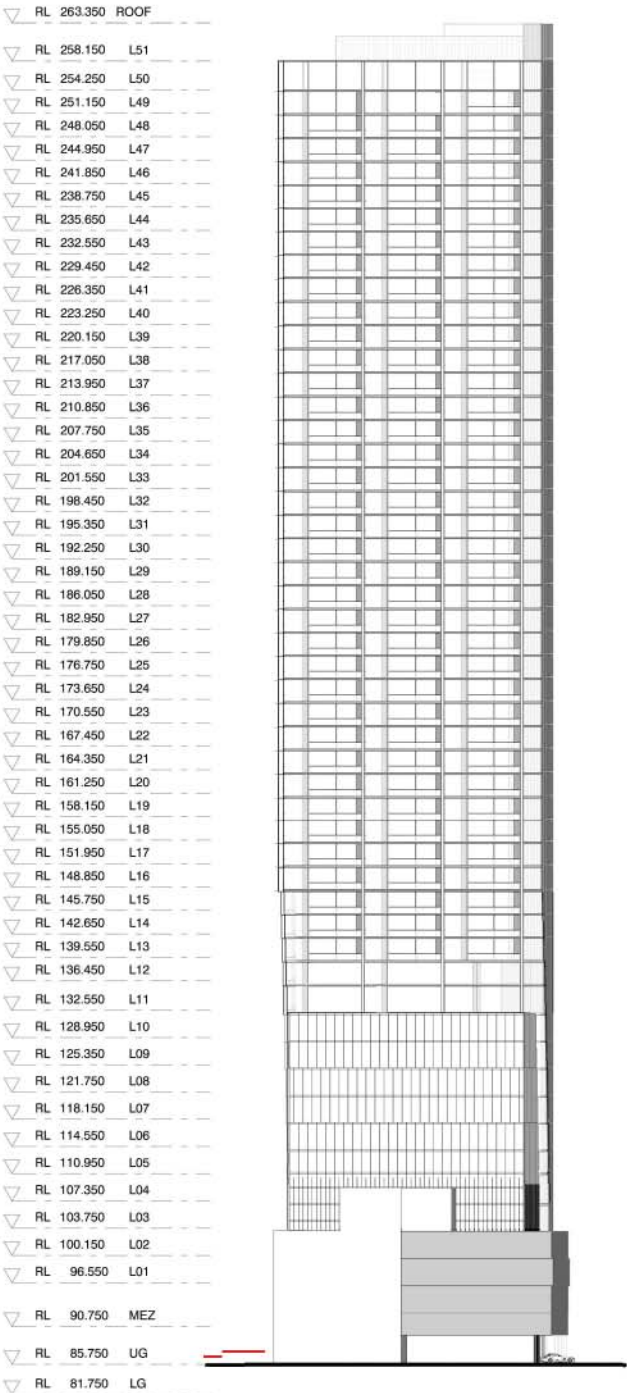


SECTION

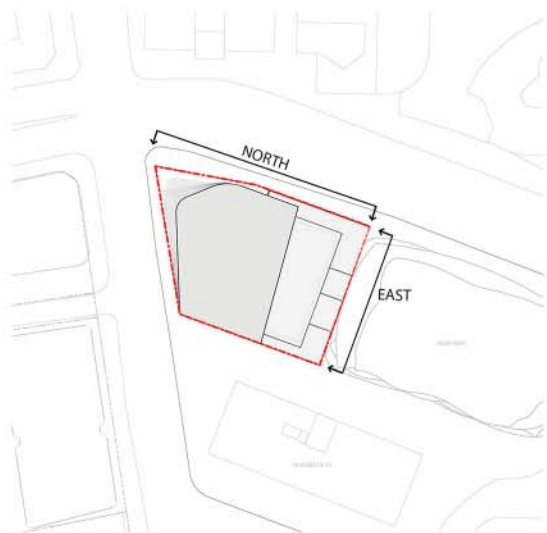
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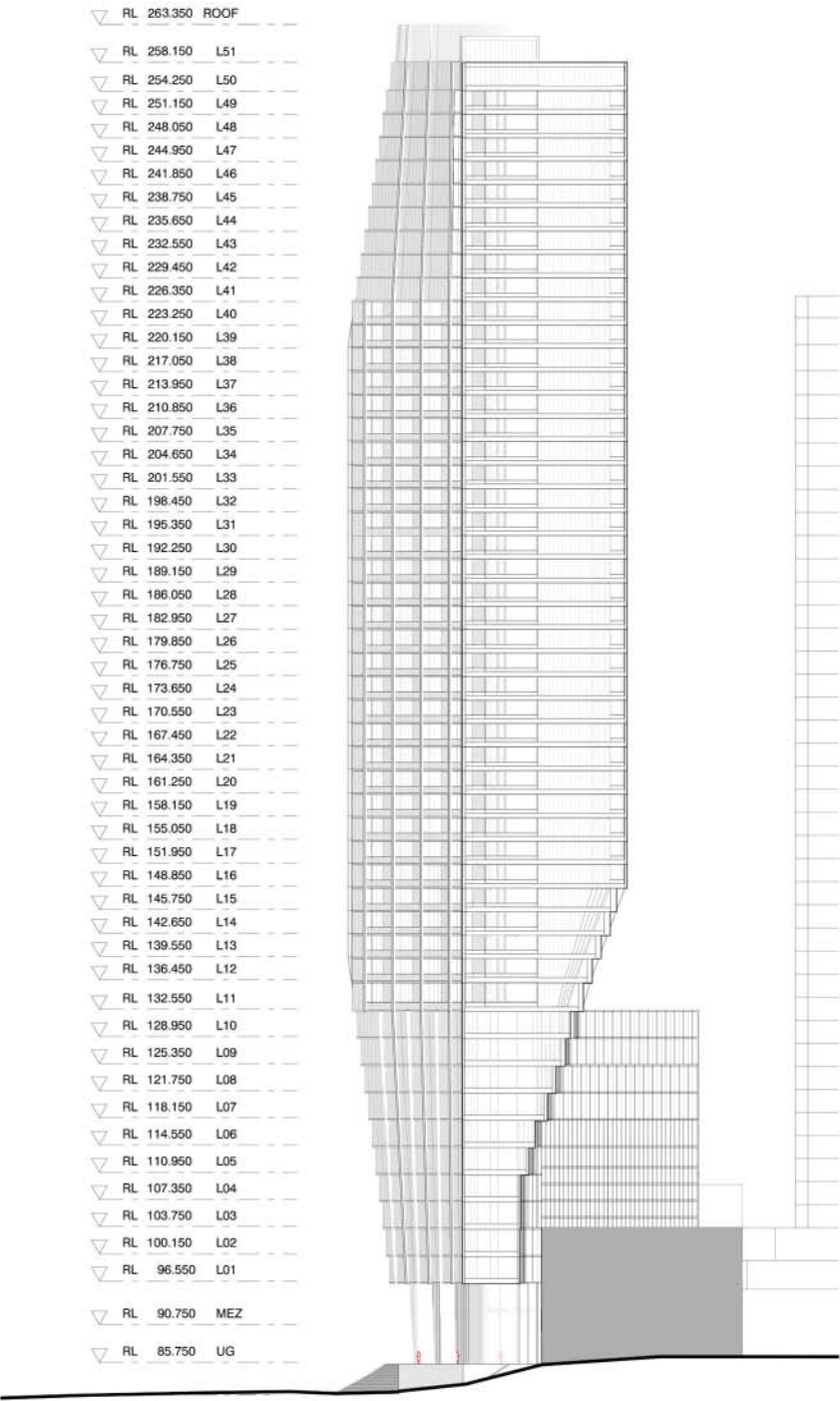
NORTH ELEVATION - PACIFIC HIGHWAY



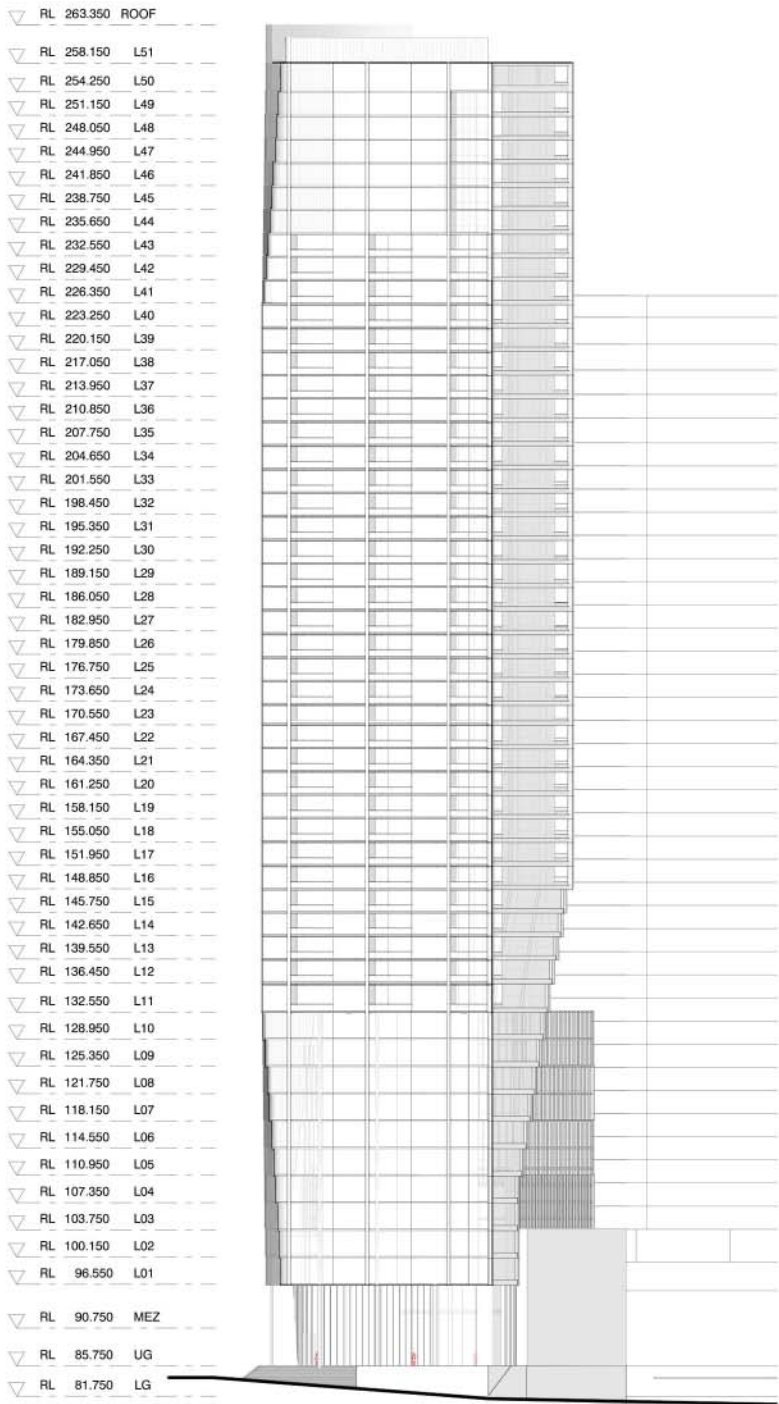
EAST ELEVATION - BOUNDARY LINE



SCALE: 1:1000



SOUTH ELEVATION - PUBLIC LINK



WEST ELEVATION - CHRISTIE STREET



SCALE: 1:1000